



Little Building Solutions Inc.
1750 Springfield Rd
Kelowna, BC V1Y 5V6
Tel: (778) 940-6956
design@littlebuildingsolutions.com

Street: Sarsons Rd,
City: Kelowna, BC

Sarsons Fourplex

Chris & Jennifer Little
Project Type: Residential Renovation
Project #:

Document Date:
March 10, 2025

Document Phase:
Design Development

rev.	date	remark
1	05/29/24	Design Coverage Plan
2	02/05/25	Issue For Review
3	02/07/25	Pre-Application Package
4	02/25/25	Clarify Soft Landscape %
5	03/10/25	Development Permit Plan

DATA SHEET

A0.0

ZONING ANALYSIS		
Municipal Address	484 Sarsons Rd	
Legal Address	Lot 5, Plan KAP16224	
Zone	RU1	
Site Area	847.03 SM	9,117.40 SF
Site Width	23.47 M	77.00 F
Site Depth	36.11 M	118.47 F
Max. Density	4 Dwelling Units Per Lot	
Site Coverage		
Buildings		
Principal - Town Houses (Total of 4 units)	418.16 SM	4,501 SF
Percentage (55% max for 3 or more dwelling units)	49%	
Driveways/Parking/Impermeable Surfaces	141.38 SM	1,521.84 SF
Percentage (75% max for lots with 3 or more dwellings)	66%	
Parking Requirements	Required	Provided
COK Parking Bylaw Table 8.3	5	5
Building Height		
Principal - Town Houses (Max 11.0 m & 3-Storeys)	7.70 M	25.25 F
Setbacks		
Front Yard Setback	3.0 M	7.57 M
Front Yard Setback (Garage)	6.0 M	7.57 M
Side yard Setback (East)	2.1 M	2.32 M
Side Yard Setback (West)	2.1 M	2.25 M
Rear Yard Setback	3.0 M	3.52 M

** HEIGHTS, SQUARE FOOTAGES, COVERAGE, ETC. SUBJECT TO CHANGE UPON FINAL DESIGN

SYMBOLS LEGEND	
001A	Door reference number/Refer to door schedule for specific information
1/P1	Detail number/sheet number
A/P1	Building section number/Sheet number
#	Keynote number
#	Revision number
W1	Wall type
F1	Floor type
Spot Elevation	Spot Elevation
Point Load	Point Load
Load Bearing Partition	Load Bearing Partition

<p>CODES & STANDARDS</p> <ul style="list-style-type: none"> All workmanship is to be of a standard equal in all respects to good practice. All work shall conform to local building codes and bylaws which may take precedence. Prior to proceeding with construction, the owner/builder must verify all information, dimensions, and specifications of this plan. Written dimensions always take precedence over scale measurements. <p>SITE SPECIFICATIONS</p> <ul style="list-style-type: none"> Building and site grade elevations shall be confirmed with utility providers and local authorities and comply with utility service and site drainage requirements. All building and utility excavation shall be filled and compacted in 12" layers to a minimum 95% proctor density to ensure minimal settlement. Dimensions are shown to exterior of rough framing (exterior sheathing) on exterior walls and to the face of stud on interior walls (wood stud). Contractor is to verify all dimensions prior to construction. <p>CONCRETE & FOOTINGS</p> <ul style="list-style-type: none"> All concrete to have a minimum compressive strength of 2,900 PSI (20MPa) at 28 days. Concrete footings must be placed on undisturbed or compacted soil to an elevation below frost penetration. All foundation walls 24" (600mm) and higher should have one horizontal 10mm reinforcing bar 3" (75mm) from the top corner. Reinforcing to be lapped minimum 24" (600mm) All footings are to have two 1/2" (#4) reinforcing bars. The reinforcing bars are to be situated such that one bar is 3" (75mm) clear of the side and bottom of the footing on both sides of the footing. Grades shown on elevation are estimated. Adjust on site as required. 	<p>CARPENTRY</p> <ul style="list-style-type: none"> All dimensions and gridlines at exterior walls are to edge of stud. Interior dimensions are to middle of stud, unless otherwise noted. Framing Lumber shall be number 2 or better spruce unless otherwise specified on the plan. All beam and lintel sizes shown on the drawings to be reviewed and confirmed by truss manufacturer and contractor. Any beam or lintel sizes provided by truss/floor manufacturer take precedence. Wood in contact with concrete shall be dampproofed with a sill plate gasket and pressure treated Plates are to be anchored to concrete with 1/2" anchor bolts. Maximum 6ft O.C. or other approved method. Flush framed wood members shall be anchored with 200lb joist hangers unless otherwise specified. Stamped and sealed shop drawings shall be provided for all structural beam, floor, and roof systems. Lintels are (2) 2x10" SPF w/ 2" thick rigid insulation sealed at perimeter U.N.O. Provide 2x6" solid blocking at towel bars, toilet paper holders, coat hooks, mirrors, and wall mounted vanities 	<p>MISCELLANEOUS</p> <ul style="list-style-type: none"> Caulk over and around all exterior openings using non-hardening caulking compound. Flash all changes of materials on exterior walls. Flash over all exterior openings. All siding or stucco to be a minimum of 6" (150mm) above finished grade. All balcony railings to be 3'6" (1070mm) in height. Maximum spacing between vertical members is 4" (100mm). Minimum distance between horizontal rails to be 32" (800mm). Coat and clothes closets shall have at least one rod and shelf with minimum depth of 24" unless otherwise stated. <p>Where tubs or showers occur, provide moisture resistant gypsum board.</p> <p>ELECTRICAL SPECIFICATIONS</p> <ul style="list-style-type: none"> 200AMP service connection. All exterior wall electrical junction boxes to have airtight foam gasket, provide spray foam at wire penetration. All electrical outlet and fixtures locations are to be confirmed All electrical outlets services and fixtures to comply with current electrical codes. all electrical services to be installed by a qualified tradesperson. height of standard outlets (center of box) <ul style="list-style-type: none"> wall outlets 14" switches 46" outlets above countertop 6" <p>HVAC SPECIFICATIONS</p> <ul style="list-style-type: none"> All HVAC systems to comply with BC Building Code. All HVAC systems to be designed by a qualified designer. All fixtures and materials to be CSA approved. All equipment and appliances to be installed and tested as per trade standards.
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Wall Assembly Legend	Floor Assembly Legend	Sheet Index	Unit Sizes
<p>W1 EXTERIOR WALL - T&G</p> <ul style="list-style-type: none"> 1/2" (13mm) GWB 6 mil POLY VAPOUR BARRIER WITH SEALED SEAMS R24 FIBERGLASS BATT INSUL. 2x6" (38x140mm) STUDS @ 16" (400mm) O.C. 1/2" (13mm) PLYWOOD SHEATHING TYVECK BUILDING WRAP - TAPE, LAP AND STAGGER ALL SEAMS 1x6" (19x140mm) T&G WOOD SIDING <p>W2 EXTERIOR WALL - STUCCO SIDING</p> <ul style="list-style-type: none"> 1/2" (13mm) GWB 6 mil POLY VAPOUR BARRIER WITH SEALED SEAMS 2x6" (38x140mm) WOOD STUDS @ 16" (400mm) O.C. R24 FIBERGLASS BATT INSUL. 1/2" (13mm) OSB SHEATHING TYVECK BUILDING WRAP - TAPE, LAP AND STAGGER ALL SEAMS METAL LATHE FURRING STUCCO FINISH <p>W3 INTERIOR WALL</p> <ul style="list-style-type: none"> 1/2" (13mm) GWB 2x4" (38x89mm) WOOD STUDS @ 16" (400mm) O.C. 1/2" (13mm) GWB <p>W3a INTERIOR WALL - INSULATED</p> <ul style="list-style-type: none"> 1/2" (13mm) GWB 2x4" (38x89mm) WOOD STUDS @ 16" (400mm) O.C. 3-1/2" (89mm) SOUND INSUL TO SUIT STUD CAVITY. 1/2" (13mm) GWB <p>W4 INTERIOR SERVICE WALL</p> <ul style="list-style-type: none"> 1/2" (13mm) GWB 2x6" (38x140mm) WOOD STUDS @ 16" (400mm) O.C. 1/2" (13mm) GWB <p>W4a INTERIOR SERVICE WALL - INSULATED</p> <ul style="list-style-type: none"> 1/2" (13mm) GWB 2x6" (38x140mm) WOOD STUDS @ 16" (400mm) O.C. 5-1/2" (140mm) SOUND INSUL. TO SUIT STUD CAVITY 1/2" (13mm) GWB <p>W5 FOUNDATION WALL</p> <ul style="list-style-type: none"> R20 (4" THK (100mm)) EPS RIGID INSUL. TYPE 4, MINIMUM COMPRESSIVE STRENGTH 25lbs/psi 3" (200mm) CONCRETE FOUNDATION WALL BITUMINOUS DAMP PROOFING TO GRADE R15 (3" THK (76mm)) XPS RIGID INSUL. MINIMUM COMPRESSIVE STRENGTH 25lbs/psi WR MEADOWS PARGE ALL 825 ON RIGID INSULATION A MINIMUM OF 4" (100mm) BELOW GRADE PERFORATED WEEPING TILE, DRAIN CLOTH & 6+" (150mm) DRAIN ROCK AROUND PERIMETER OF HOUSE FOOTING 	<p>W6 PARTY WALL - 1HR F.R.R.</p> <ul style="list-style-type: none"> 2 LAYERS 5/8" (16mm) TYPE-X DRYWALL 2x4" (38x89mm) WOOD STUDS @ 16" (400mm) O.C. SOUND INSUL TO SUIT STUD CAVITY 1" (25mm) AIR GAP 2x4" (38x89mm) WOOD STUDS @ 16" (400mm) O.C. SOUND INSUL TO SUIT STUD CAVITY 3/4" (19mm) SONOPAN OR APPROVED EQUAL 5/8" (16mm) TYPE-X DRYWALL <p>F1 INSULATED TIMBER FLOOR</p> <ul style="list-style-type: none"> 1/2" ENG. HARWOOD FLOORING 3/8" UNDERLAY (LINO OR TILE AREAS) 3/4" PLYWOOD SUBFLOOR 2x10" FLOOR JOISTS @ 16" O.C. ACOUSTIC INSUL. TO SUIT JOIST CAVITIES 5/8" DRYWALL *FILL END OF JOIST CAVITIES W/ R22 2lb CLOSED CELL SPRAY FOAM <p>F2 S.O.G. FLOORING</p> <ul style="list-style-type: none"> 4" CONCRETE SLAB ON GRADE ON 6x6 10-ga WWM REINFORCING ON CHAIRS 6 mil POLY VAPOUR BARRIER WITH SEALED SEAMS R15 (3" THICK) EPS RIGID INSUL TYPE 4, MIN. COMPRESSIVE STRENGTH 25 LBS/PSI COMPACTED GRANULAR FILL & PREPARED SUBGRADE - REFER TO GEOTECH REPORT IF AVAILABLE <p>F3 WOOD SLAT FLOOR</p> <ul style="list-style-type: none"> 2x4" (38x89mm) FLOOR JOISTS @ 2.5" (65mm) O.C. 	<p>ARCHITECTURAL DRAWINGS</p> <p>A0 DATA SHEET</p> <p>A0.1 PERSPECTIVE</p> <p>A0.2 PERSPECTIVE 2</p> <p>A0.3 SUN PATH</p> <p>A2.1 SITE PLAN</p> <p>A2.2 DEMOLITION PLAN</p> <p>A2.3 FOUNDATION PLAN</p> <p>A2.4 MAIN FLOOR PLAN</p> <p>A2.5 SECOND FLOOR PLAN</p> <p>A2.6 ROOF PLAN</p> <p>A3.1 NORTH / SOUTH ELEVATION</p> <p>A3.2 EAST / WEST ELEVATION</p> <p>L0.1 LANDSCAPE PLAN</p> <p>L0.2 CIRCULATION PLAN</p> <p>Abbreviations</p> <p>AFF ABOVE FINISH FLOOR</p> <p>ALUM. ALUMINUM</p> <p>BTWN. BETWEEN</p> <p>CLR CLEAR</p> <p>F/W FASTENED WITH</p> <p>GWB GYPSUM WALL BOARD</p> <p>O.C. ON CENTER</p> <p>OSB ORIENTED STRAND BOARD</p> <p>P.T. PRESSURE TREATED</p> <p>U/S UNDER SIDE</p> <p>V.O.S. VERIFY ON SITE</p> <p>W/ WITH</p>	

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Sarsons Fourplex

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Chris & Jennifer Little
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Project # :

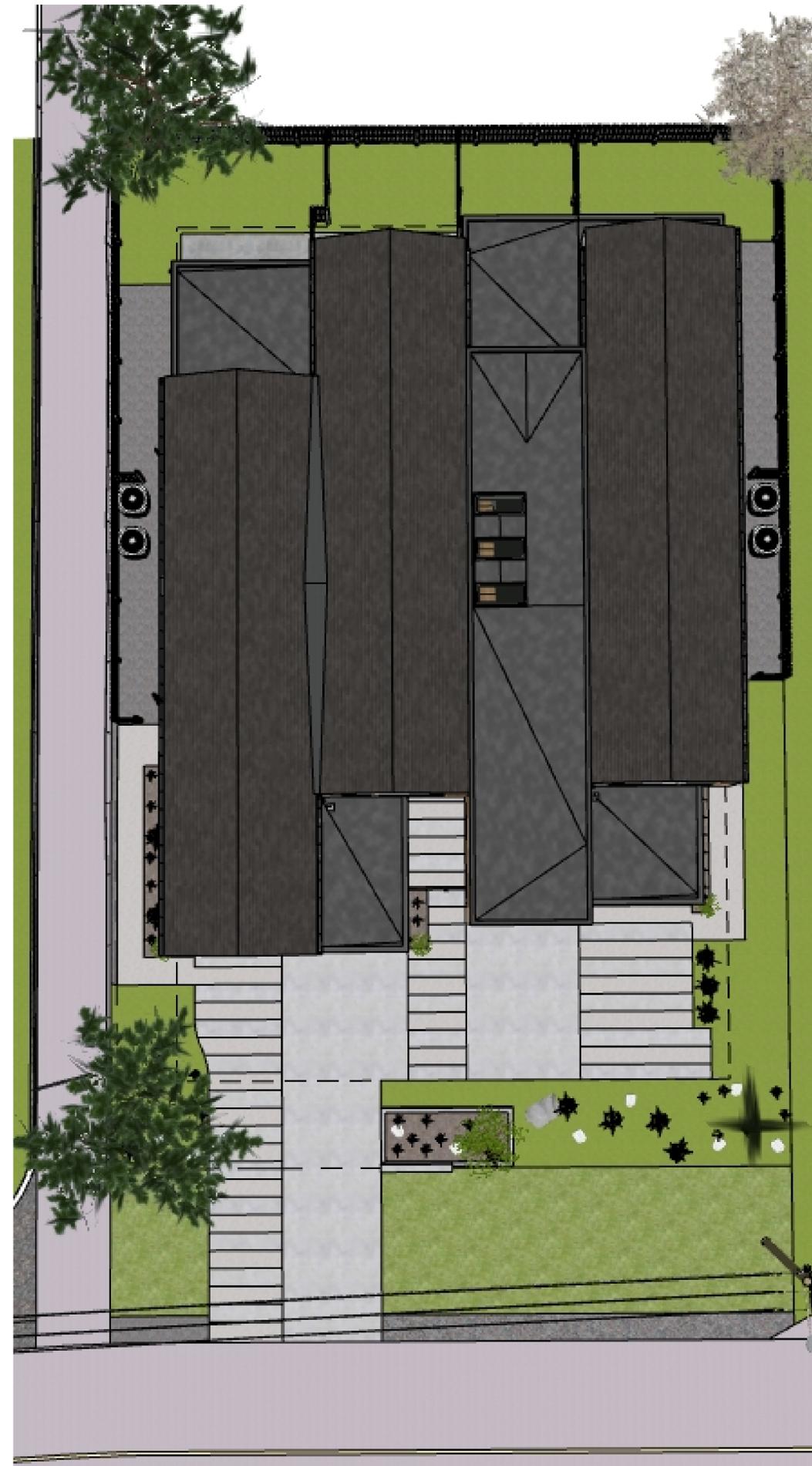
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rev.	date	remark
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PERSPECTIVE

A0.1



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PERSPECTIVE
 2

A0.2



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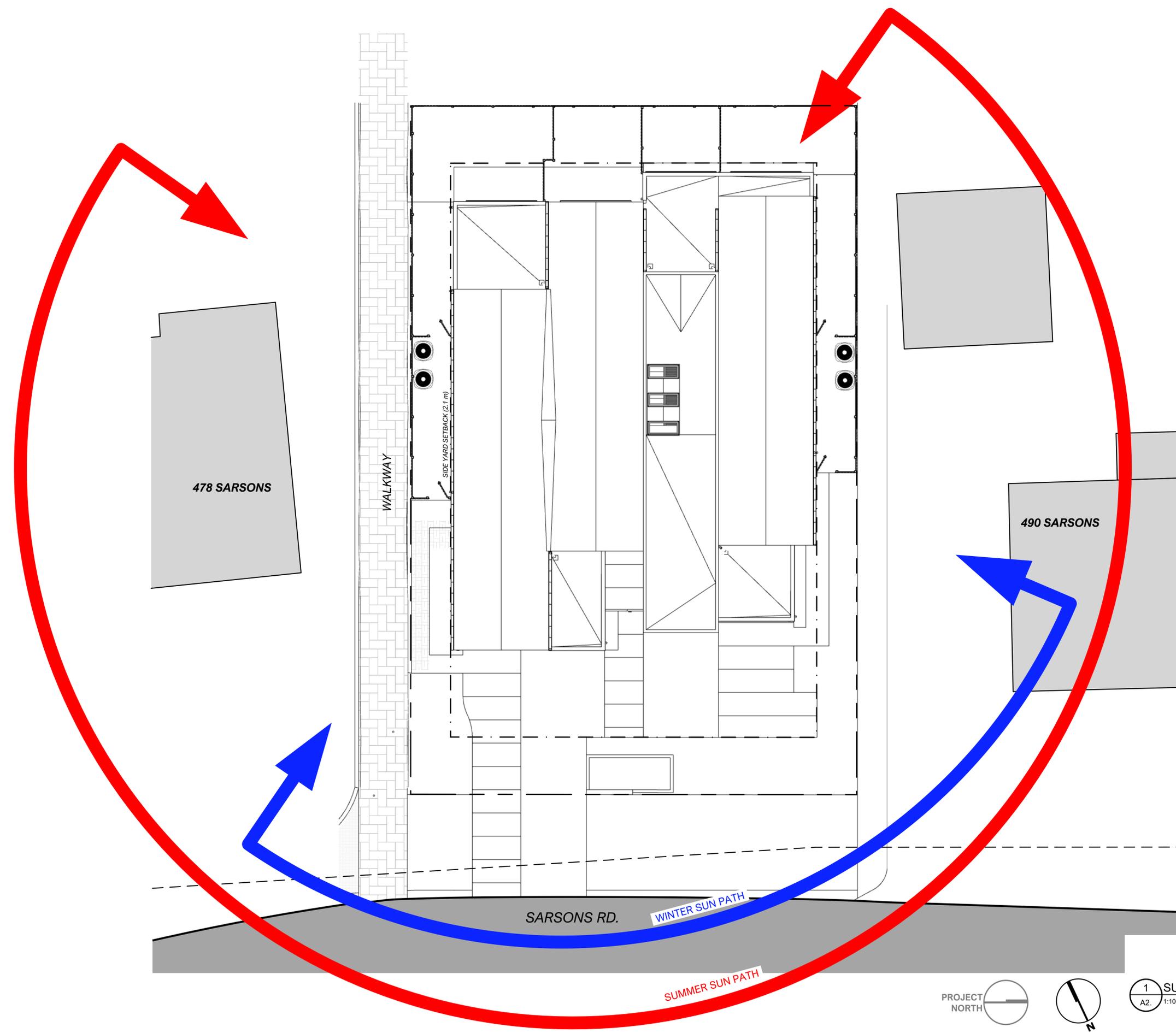
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SUN PATH

A0.3



PROJECT NORTH   1 SUN PATH
A2 1:100

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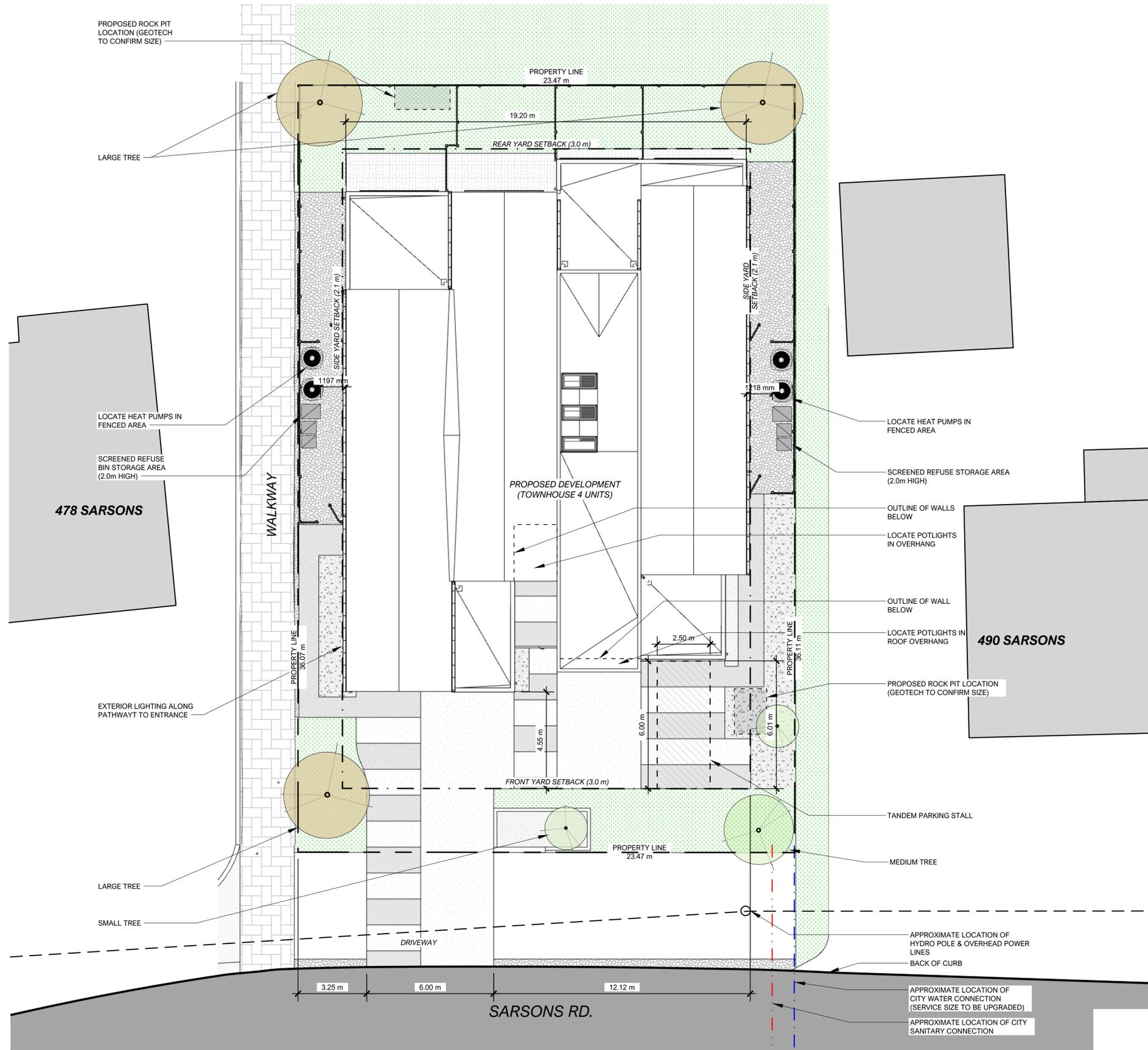
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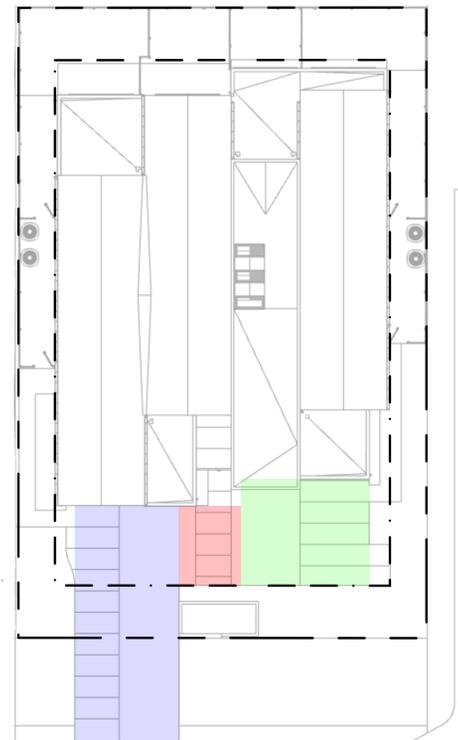
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SITE PLAN

A2.1



DRIVE AISLES



- 6.0m WIDE DRIVEWAY
- 4.5m WIDE DRIVE AISLE (NO ACCESS TO ADJACENT PARKING)
- 6.0m WIDE DRIVE AISLE (W/ ADJACENT PARKING)

PROJECT NORTH   1 SITE PLAN
 A2.1 1:100



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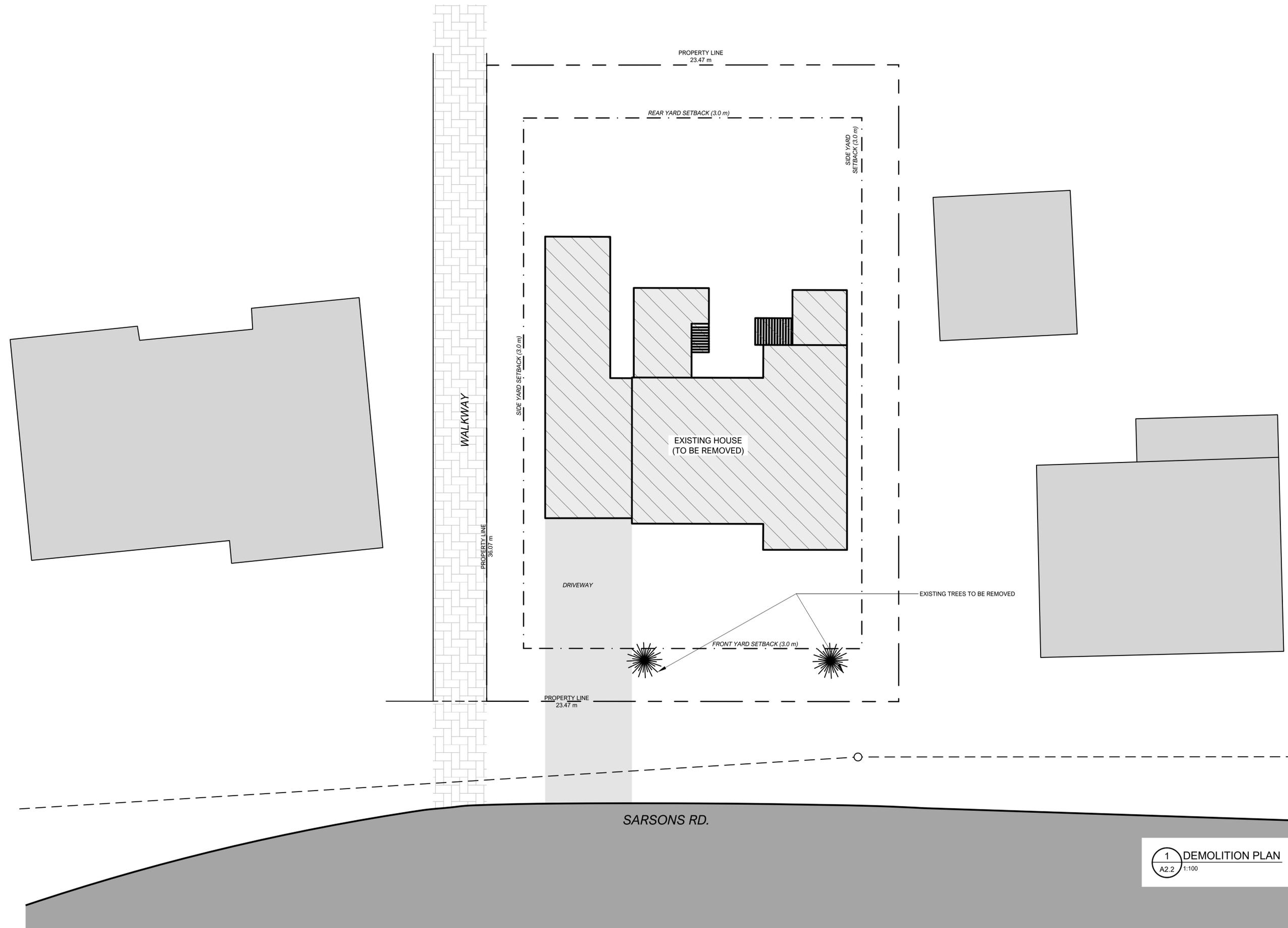
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DEMOLITION PLAN

A2.2



Sarsons Fourplex

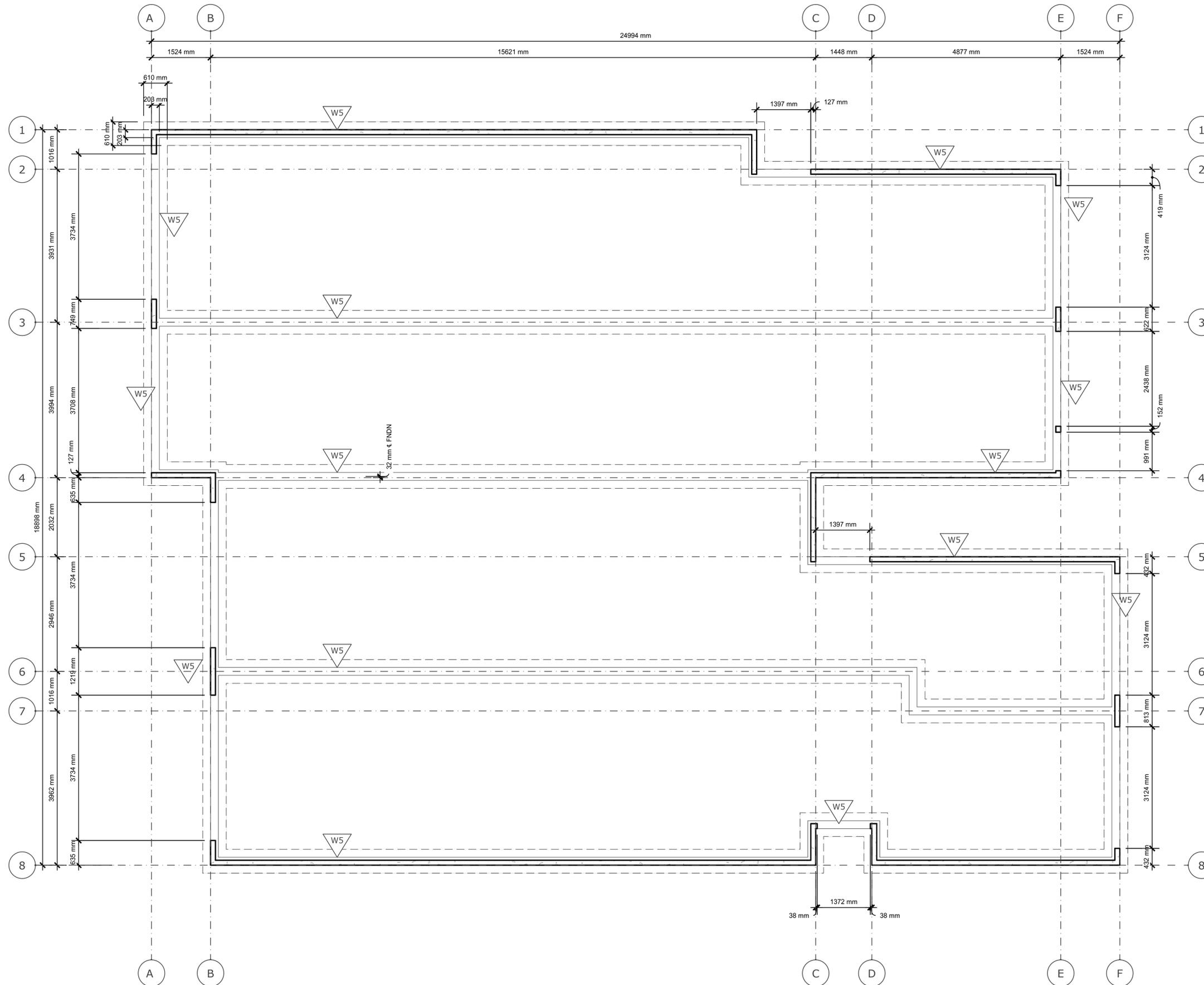
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FOUNDATION PLAN

A2.3



1 FOUNDATION PLAN
 A2.3 1:50



Sarsons Fourplex

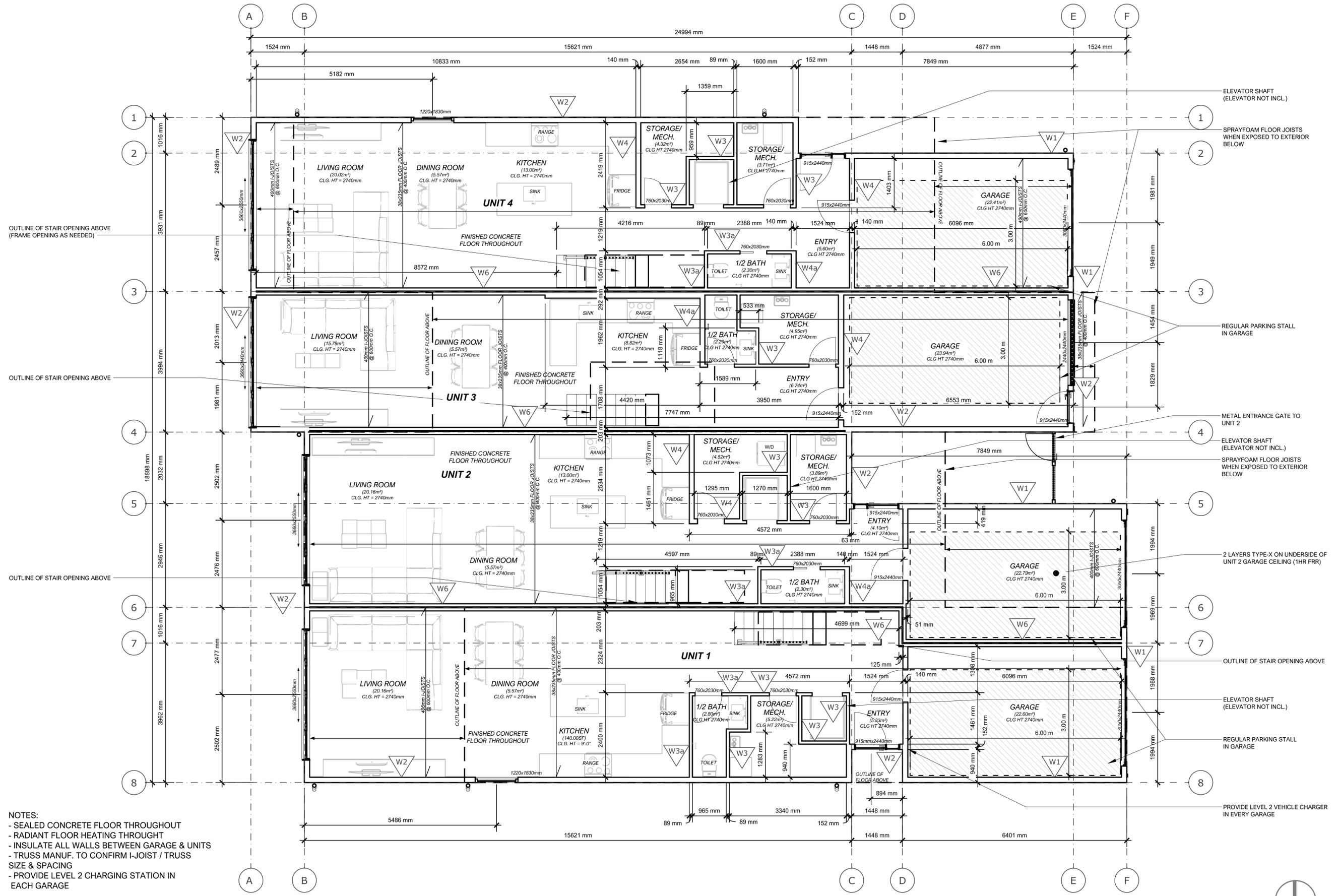
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MAIN FLOOR PLAN

A2.4



- NOTES:**
- SEALED CONCRETE FLOOR THROUGHOUT
 - RADIANT FLOOR HEATING THROUGHOUT
 - INSULATE ALL WALLS BETWEEN GARAGE & UNITS
 - TRUSS MANUF. TO CONFIRM I-JOIST / TRUSS SIZE & SPACING
 - PROVIDE LEVEL 2 CHARGING STATION IN EACH GARAGE

1 MAIN FLOOR PLAN
 A2.4 1:50



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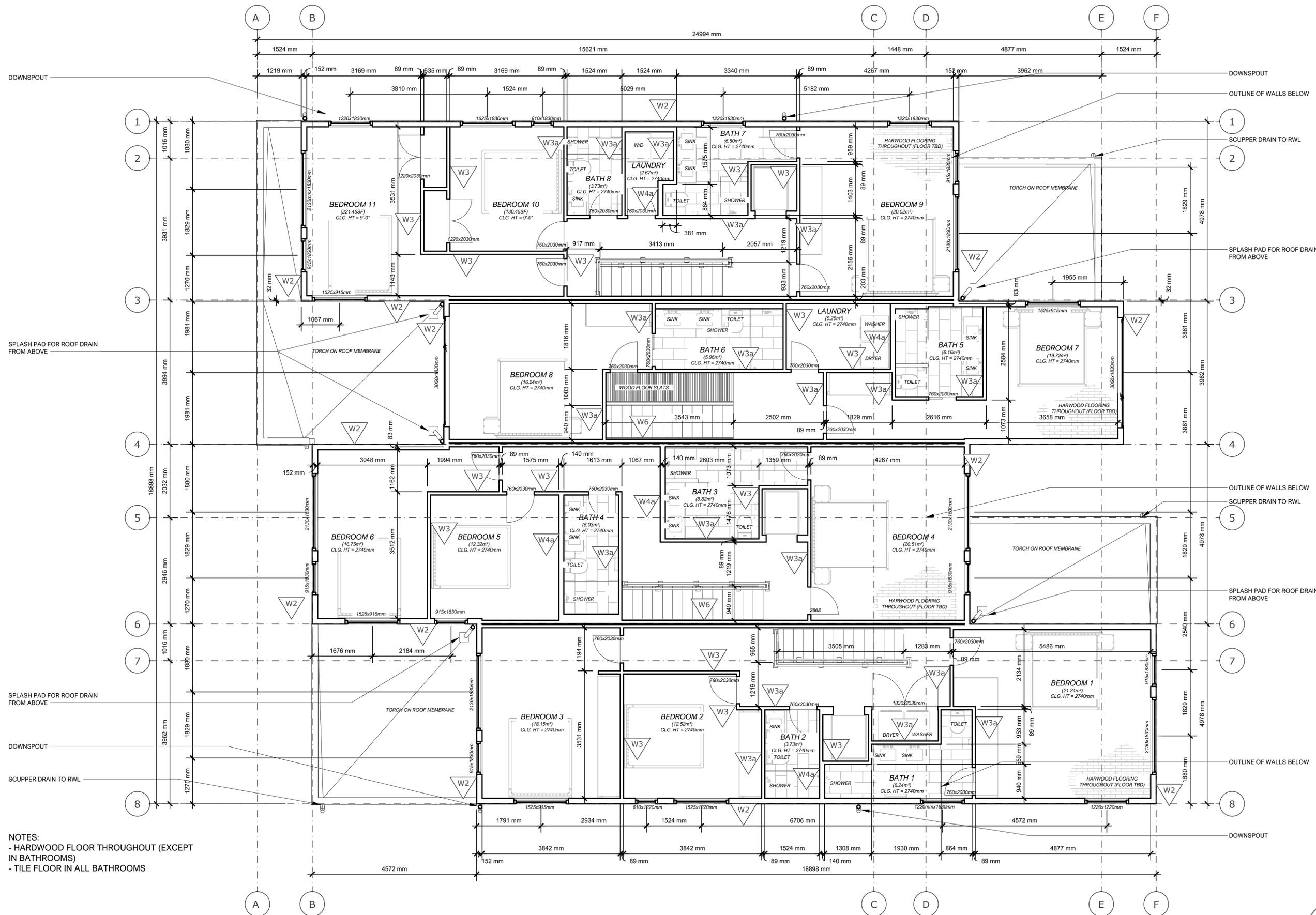
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SECOND FLOOR PLAN

A2.5



1 SECOND FLOOR PLAN
 A2.5 1:50



NOTES:
 - HARDWOOD FLOOR THROUGHOUT (EXCEPT IN BATHROOMS)
 - TILE FLOOR IN ALL BATHROOMS

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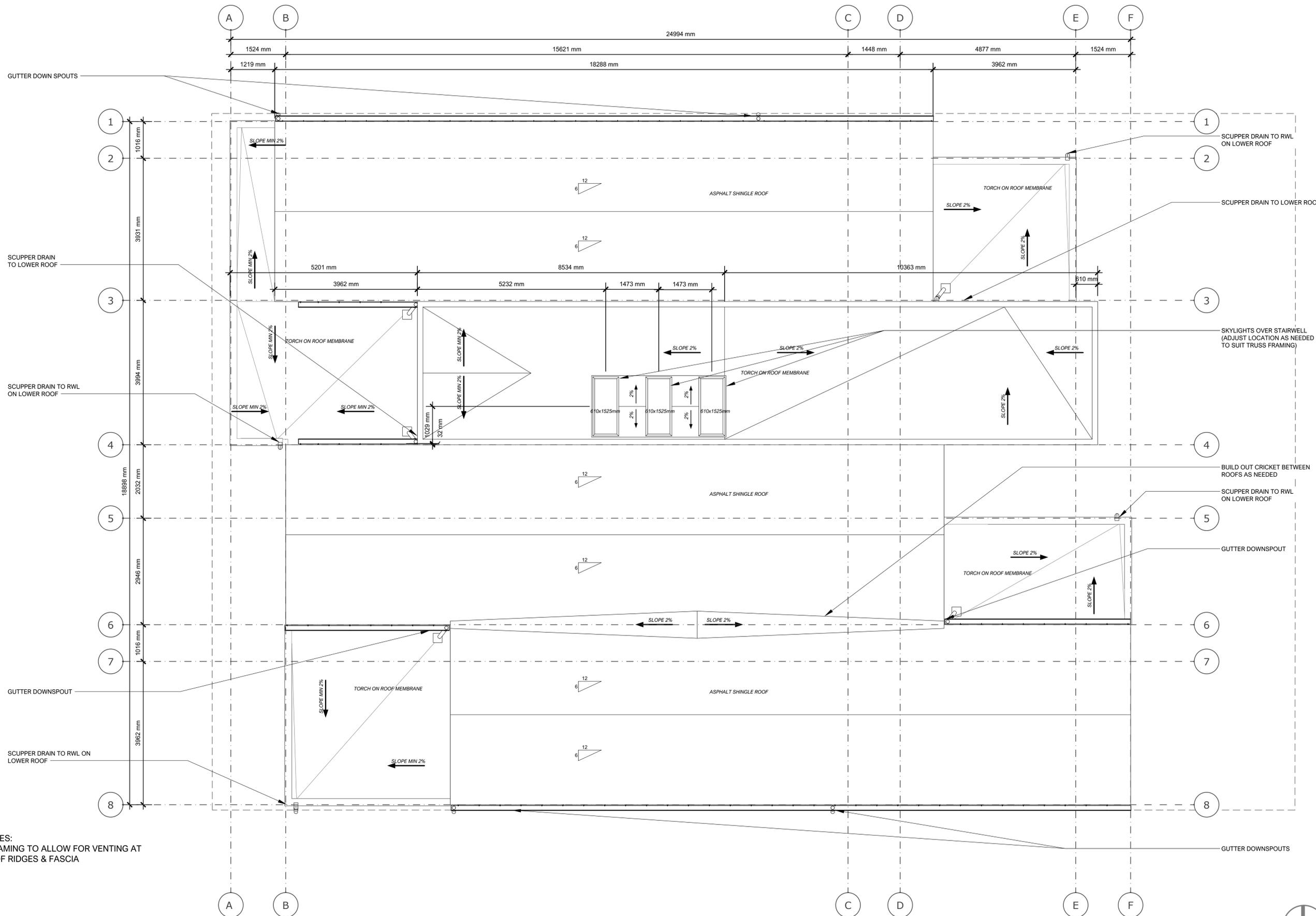
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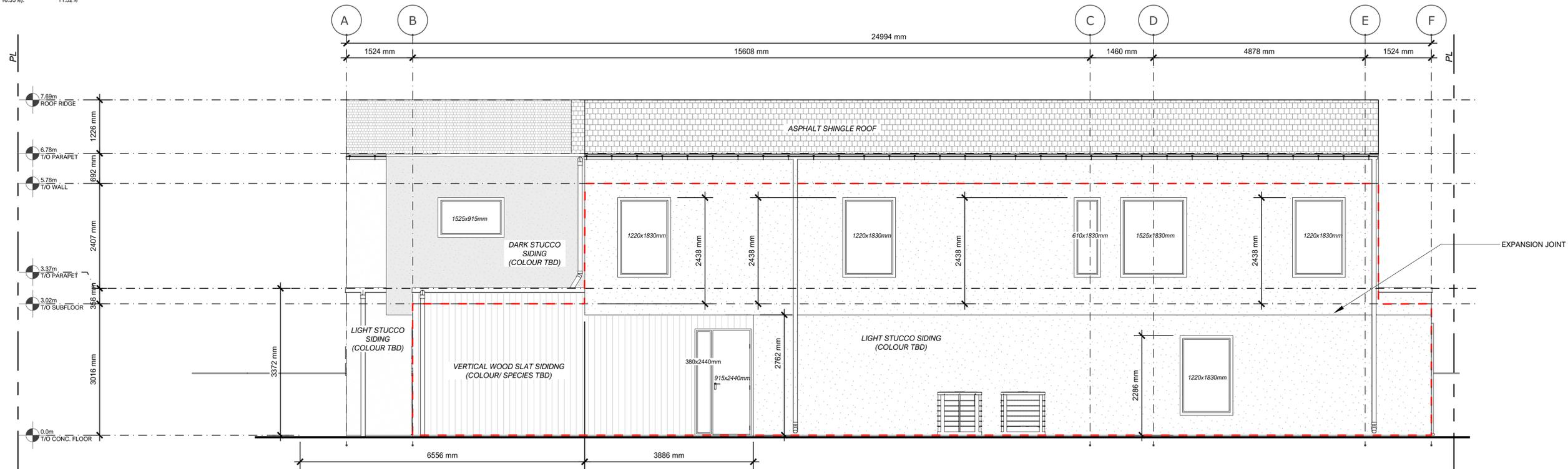
ROOF PLAN

A2.6



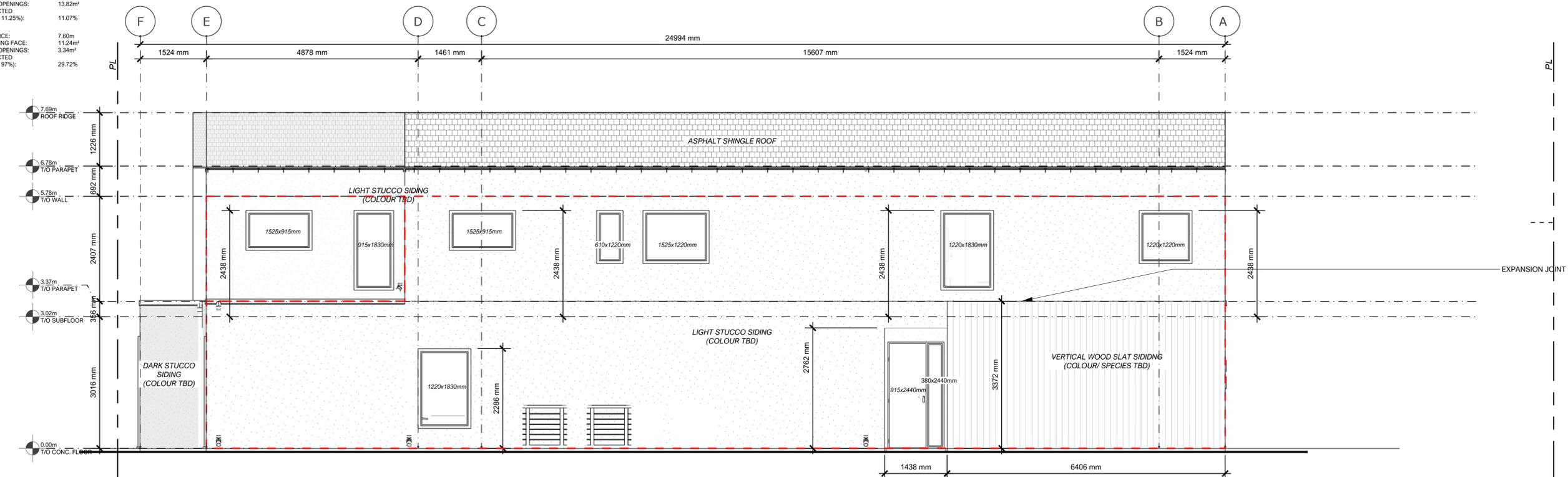
NOTES:
 - FRAMING TO ALLOW FOR VENTING AT
 ROOF RIDGES & FASCIA

LIMITING DISTANCE: 5.3m
 EXPOSED BUILDING FACE: 120.00m²
 UNPROTECTED OPENINGS: 13.82m²
 % OF UNPROTECTED OPENINGS (MAX 16.55%): 11.52%



1 NORTH ELEVATION
 A2.7 1:50

UNIT 1 FACE
 LIMITING DISTANCE: 3.63m
 EXPOSED BUILDING FACE: 124.85m²
 UNPROTECTED OPENINGS: 13.82m²
 % OF UNPROTECTED OPENINGS (MAX 11.25%): 11.07%
UNIT 2 FACE
 LIMITING DISTANCE: 7.60m
 EXPOSED BUILDING FACE: 11.24m²
 UNPROTECTED OPENINGS: 3.34m²
 % OF UNPROTECTED OPENINGS (MAX 97%): 29.72%



1 SOUTH ELEVATION
 A2.7 1:50



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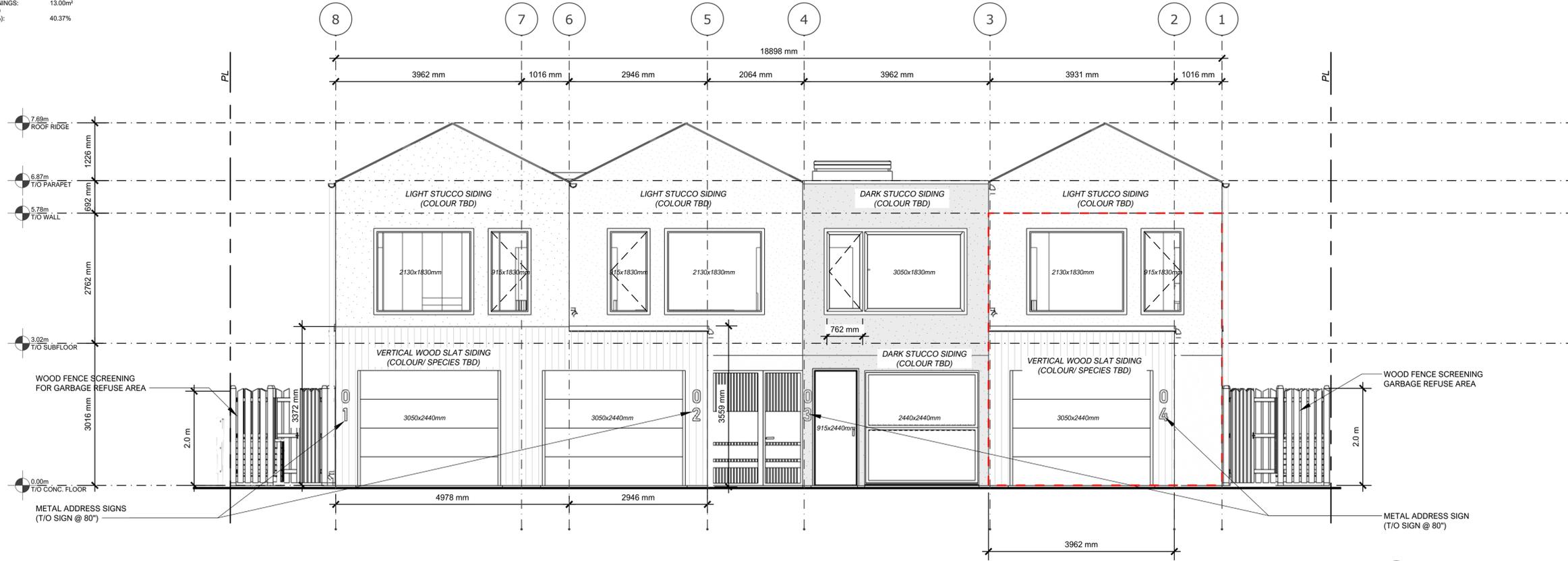
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N/S
 ELEVATIONS

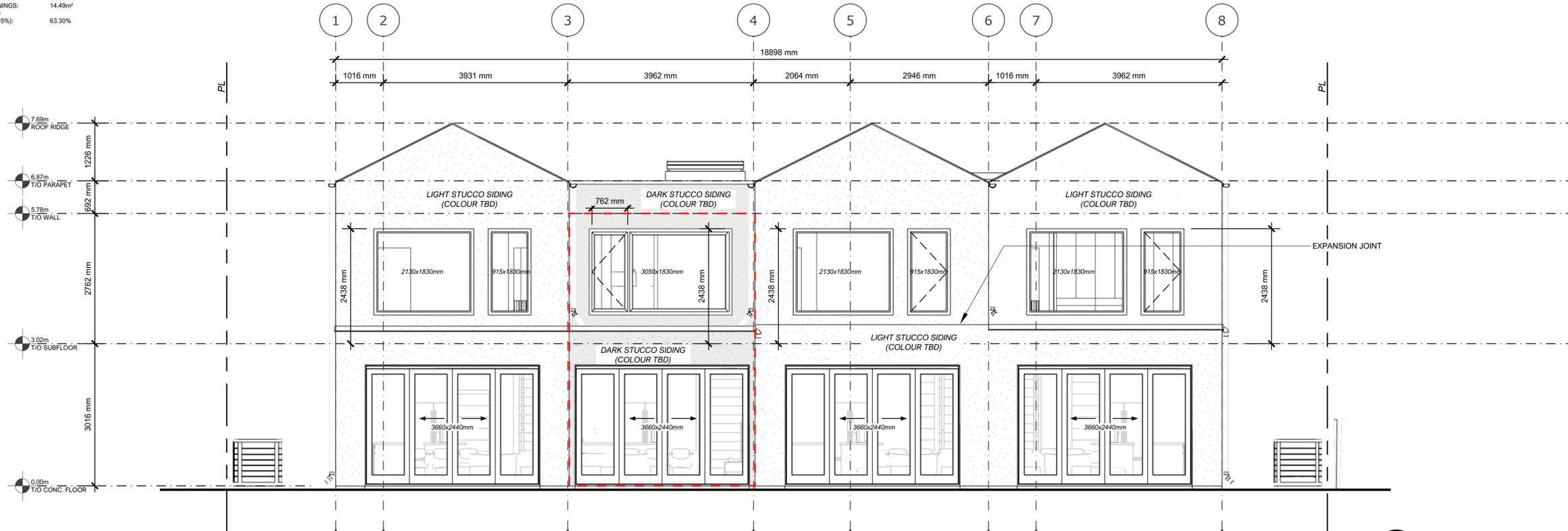
A3.1

MOST RESTRICTIVE UNIT (UNIT 4)
 LIMITING DISTANCE: 6m
 EXPOSED BUILDING FACE: 32.20m²
 UNPROTECTED OPENINGS: 13.00m²
 % OF UNPROTECTED OPENINGS (MAX 82%): 40.37%



1 EAST ELEVATION
 A2.8 1:50

MOST RESTRICTIVE UNIT (UNIT 3)
 LIMITING DISTANCE: 5.3m
 EXPOSED BUILDING FACE: 22.89m²
 UNPROTECTED OPENINGS: 14.49m²
 % OF UNPROTECTED OPENINGS (MAX 70.85%): 63.30%



1 WEST ELEVATION
 A2.8 1:50



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E/W
 ELEVATIONS

A3.2



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LANDSCAPE PLAN

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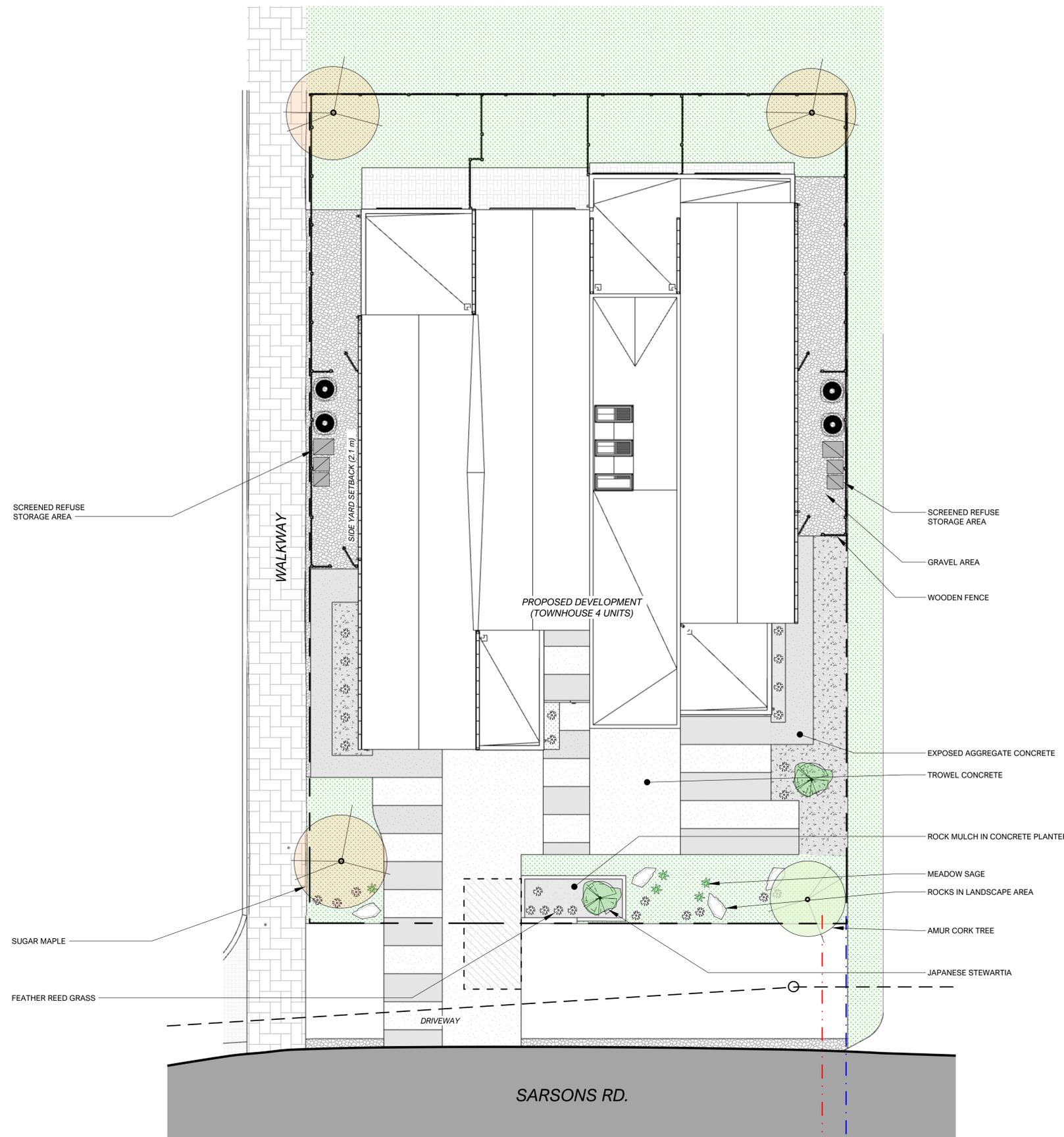
LANDSCAPE STANDARDS (7.2)	REQ'D	PROPOSED
Min. Tree Amount	5	5
Min. Soft Landscape Area	75%	92%
Min. Soil Volume Per Tree	Large 20m ³ Medium 18m ³ Small 15m ³	Large 20m ³ Medium 18m ³ Small 15m ³
Min. Deciduous Tree Caliper	Large 5cm Medium 4cm Small 3cm	Large 5cm Medium 4cm Small 3cm
Min. Ratio Between Tree Size	Large Min 50% Medium No min/max Small Max 25%	Large 60% Medium 20% Small 20%
Landscape Graded Areas: Min. 1:50 slope (2%) for cross slope of landscape area		
Fence Height	Max 2.0m	2.0m
Refuse & Recycling Screened	(y/n)	Yes

PLANT LIST

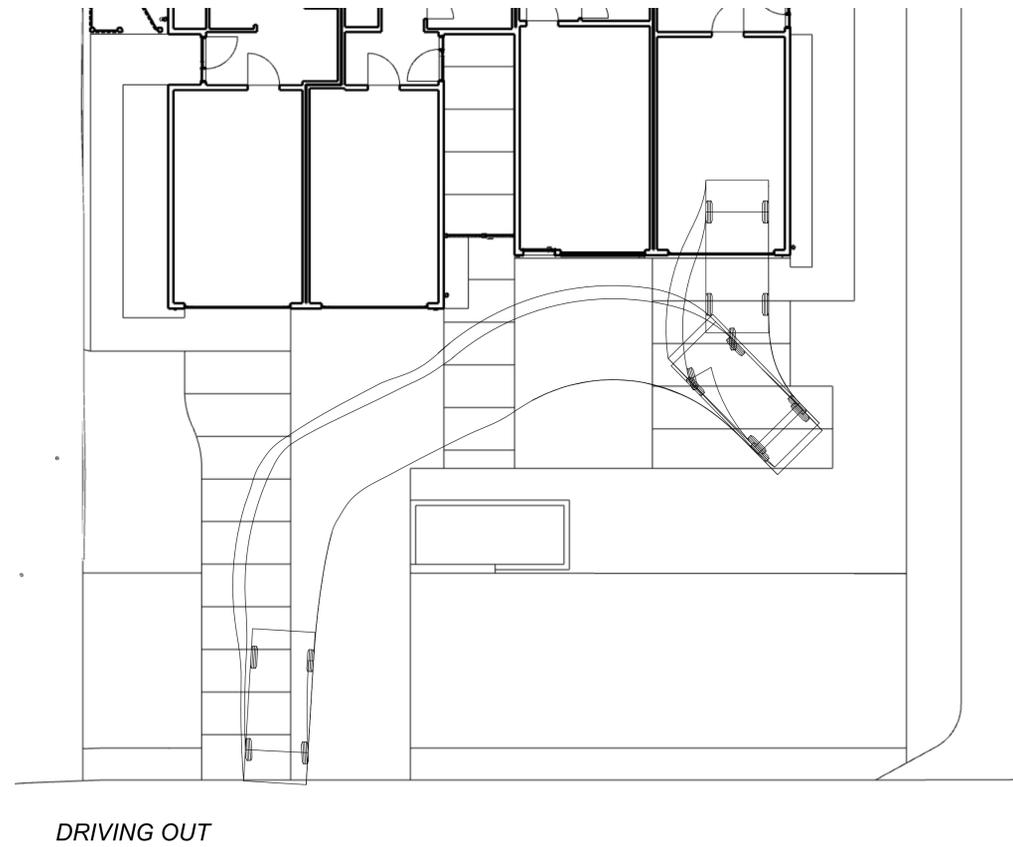
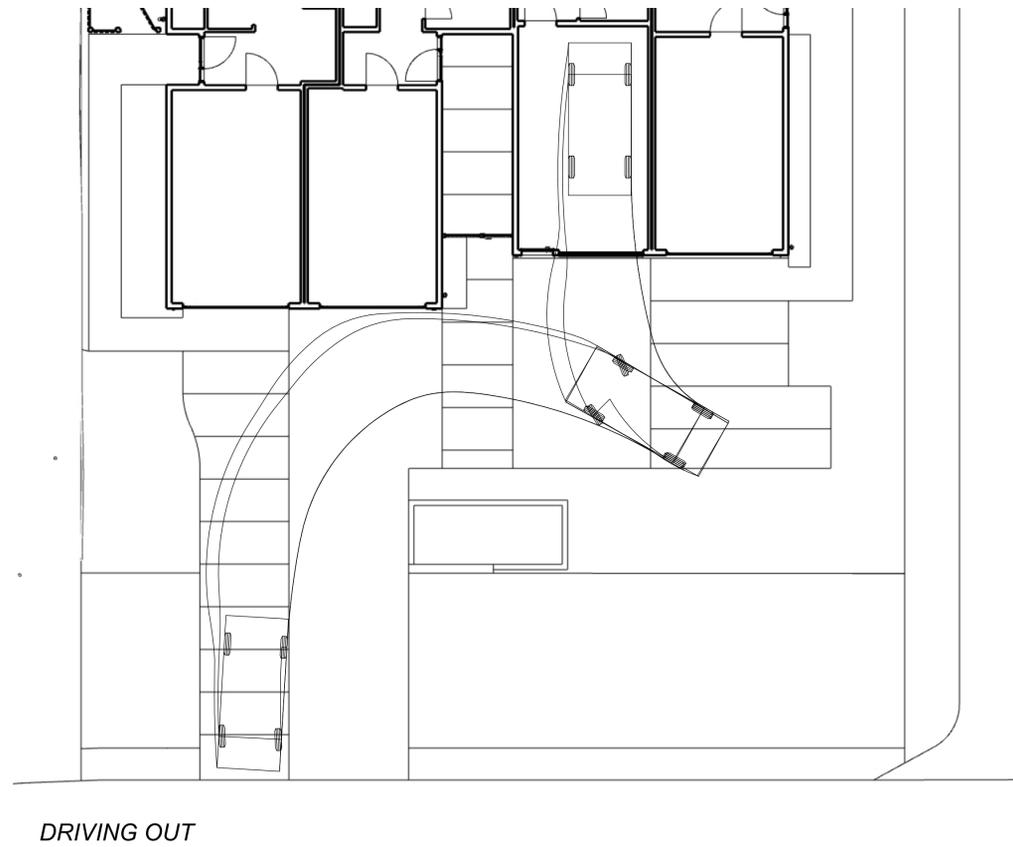
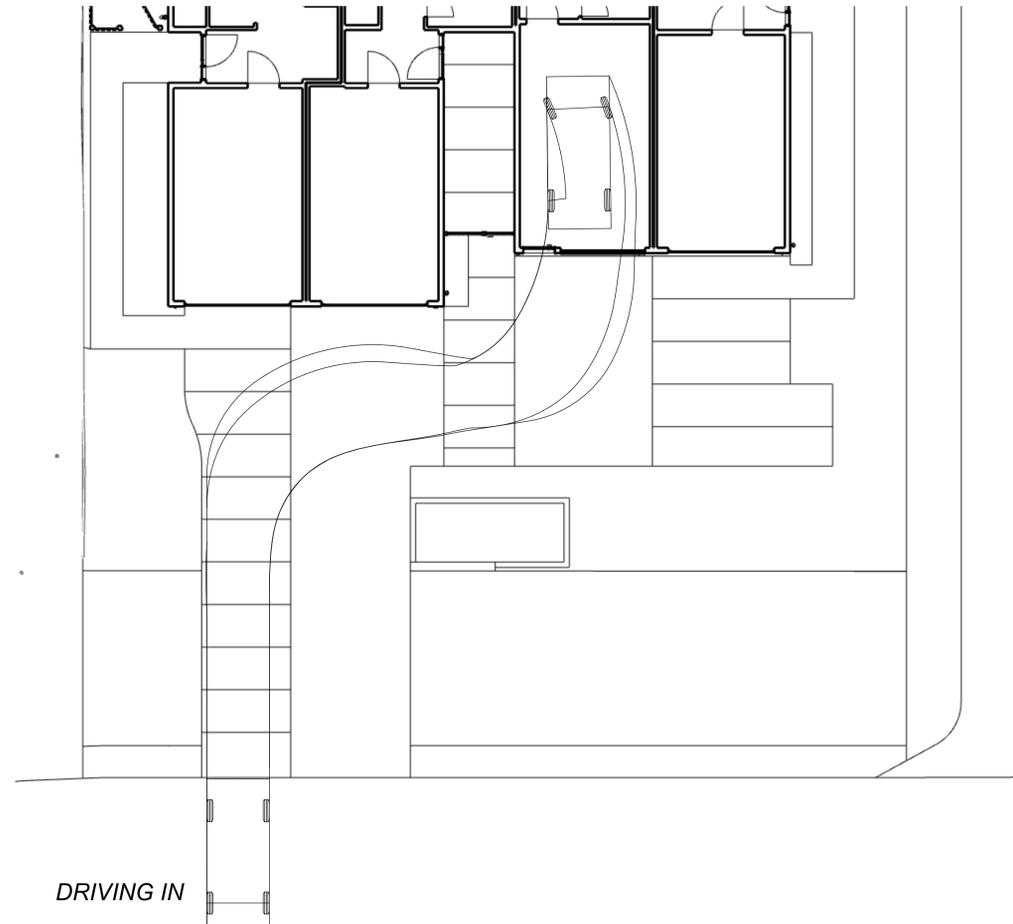
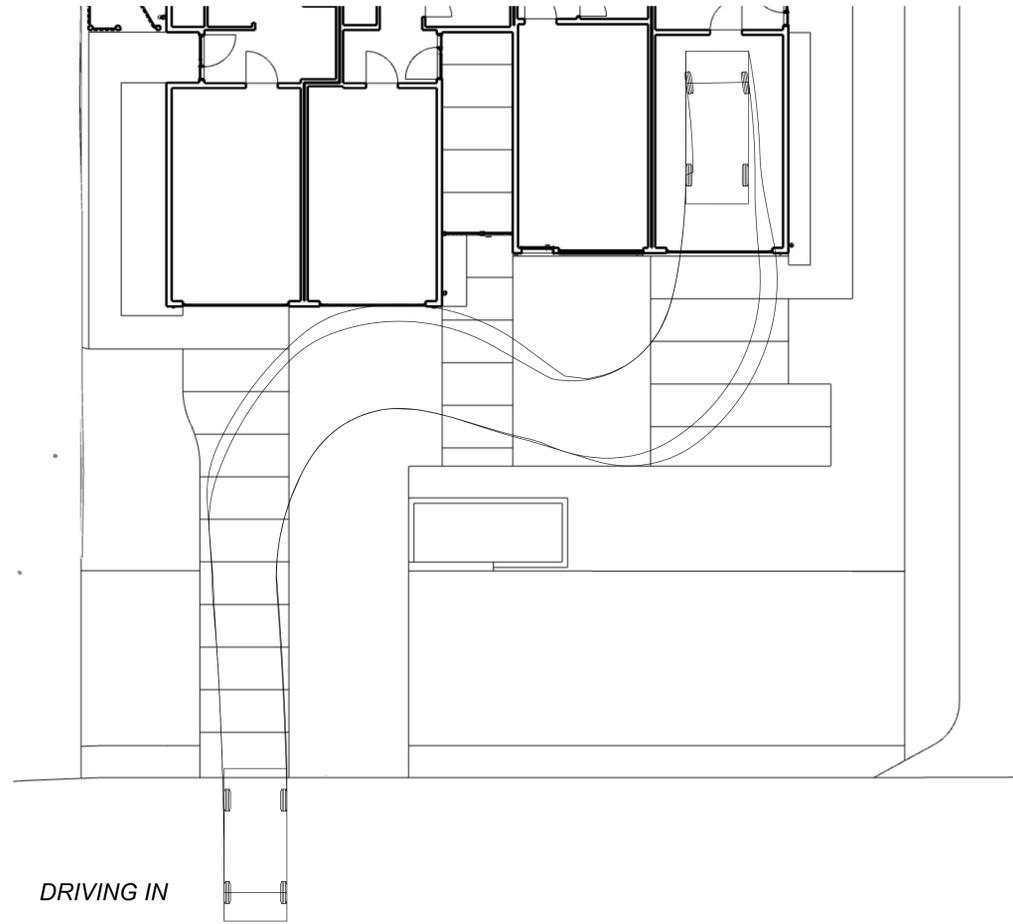
QTY	LATIN NAME	COMMON NAME	SIZE
TREES			
1	Stewartia pseudocamillia	Japanese stewartia	Min Cal 3cm
1	Phellodendron amurense	Amur cork tree	Min Cal 4cm
3	Acer saccharum	Sugar Maple	Min Cal 5cm
PERENIALS			
25	Calamagrostis 'Karl Forester'	Feather Reed Grass	#1
5	Salvia nemorosa	Meadow Sage	#1

NOTES:

1. Concrete planter to be dressed with grey rock mulch
2. Site to be watered with fully automated irrigation system
3. All structures to have positive drainage
4. All materials and methods to conform to Canadian Landscape Standards
5. Plant material to be locally sourced where possible



1 LANDSCAPE PLAN
A2.9 1:100



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Sarsons Fourplex

Street: Sarsons Rd,
 City: Prov: Kelowna, BC

Chris & Jennifer Little
 Project Type: Residential Renovation
 Project # :

Document Date:
 March 10, 2025

Document Phase:
 Design Development

rev.	date	remark
1	05/29/24	Design Coverage Plan
2	02/05/25	Issue For Review
3	02/07/25	Pre-Application Package
4	02/25/25	Clarify Soft Landscape %
5	03/10/25	Development Permit Plan

CIRCULATION PLAN

L0.2